

Wedgewood Homeowners Association Homeowners Handbook

Common Rules Landscape Design Guide Approved Colors and Building Materials Property Alteration Applications



WELCOME AND INTRODUCTION

Dear Owners and Residents,

On behalf of the Board of Directors of The Wedgewood Homeowners Association, our management, and all residents of The Wedgewood Subdivision, we would like to take this opportunity to tell you how glad we are that you are living in our great community.

Wedgewood is a premier residential subdivision and community, and the contributions and the compliance of each resident are important to the overall beauty and uniformity of our community. We are very proud of our community and its residents.

At Wedgewood, like at any other first-class community in Central Ohio, the best interests of the community, in some respects, outweigh the interests of the individual residents. The rules and guidelines in this handbook have been compiled to make and to keep our community a great one. In fact, most of the guidelines are designed to preserve our environment. This document is subject to periodic updates as building materials,

design concepts and life styles evolve. The basis will always remain, the Covenants and the Rules and Regulations.

We look forward to receiving your questions and / or suggestions on how we, as a community and as a Board, can better serve each and every resident. We encourage you to participate in your community. We invite your talents, skills, ideas and creativity. All opinions are important, and will be respected.

Respectfully,

Board of Directors
Wedgewood Homeowners Association
Email: board@wedgewood.co

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REFERENCE INFORMATION – BOARD OF DIRECTORS AND GOVERNING DOCUMENTS

This handbook includes the Rules and Regulations adopted by the Board of Directors (referred to as “Trustees” in previous documents) of the Wedgewood Homeowners Association, and the Design Standards that apply in our community. The handbook contains specific Rules and Regulations authorized by Ohio law (ORC 5312), the Declaration of Covenants, Easements, Restrictions and Assessments for Wedgewood, as amended to date (“the declaration”) and the Bylaws of the Wedgewood Homeowners Association.

This handbook and the Rules and Regulations contained herein are not a substitute for the Declaration and Bylaws, which should be read and understood by every owner and resident. In the event of a conflict between this Handbook, including the Rules and Regulations contained herein, and the Declaration of Bylaws, the provisions of the Declaration or Bylaws shall control.

This handbook is designed to assist all unit owners in understanding the Rules and Regulations under which the Wedgewood Homeowners Association operates. It also contains important design requirements and guidelines. We believe these Rules, Regulations and Guidelines are necessary in order to maintain our very high-quality residential community.

The Association is governed by: (1) the Statutory law of the State of Ohio regulating the creation and operation of planned community associations, currently Chapter 5312 of the Ohio Revised Code; (2) the Declaration; (3) the Code of Regulations (Bylaws) and (4) the provisions of Chapter 1702 of the Ohio Revised Code, governing Ohio not-for-profit corporations.

This handbook, the Rules and Regulations and the Design Guidelines are subject to change by action of the Board of Directors. For the most up to date version of this document, please visit our website, www.wedgewood.co.

WELCOME AND INTRODUCTION

A. Basis of Rules and Regulations

Ohio's Planned Community Act (O.R.C. Chapter 5312), the Declaration, and the Code of Regulations of the Association give the Board the power and authority to adopt, publish and enforce rules and regulations governing the use of common properties and the exterior portions of all improvements and the personal conduct of owners, occupants and their guests. These are matters that affect all members of the community. The Board has approved and adopted this handbook as the rules and regulations of the Association (the "Rules"). The Board has the power and authority to establish and levy Special Individual Lot Assessments as enforcement charges for violations of the Rules. These Rules may be amended or modified from time to time, as conditions change, by the Board.

B. Enforcement Practices, Procedures and Sanctions

Because we are all neighbors, in most instances before any formal enforcement action is taken, a good faith effort will be made to inform a member, guest or occupant of any violation or condition in violation of the Restrictions or Rules and give that person an opportunity to bring conditions or conduct into compliance. However, in any case by the Board to be urgent, and in any case where conduct or conditions in violation continue or re-occur, the Board may assess administrative enforcement charges, commence legal action, or exercise the self-help rights granted to the Board by the Declaration.

Subject to the provisions of the Declaration, Code of Regulations, and these Rules, and in addition to any other action permitted, the Board may, subject to a Unit Owner's right to request a hearing, levy a Special Individual Lot Assessment (enforcement charge) per violation or occurrence of a violation of the provisions of the Declaration, Code of Regulations, or these Rules. If there is a subsequent violation, the Board may levy a Special Individual Lot Assessment per the schedule, attached as Appendix B, for each month that a violation or a condition in violation continues. The Board may suspend a charge if it determines that the charge would not be fair under the circumstances. Special Individual Lot Assessments shall be added to the Member's assessment account.

The levying of any Special Individual Lot Assessment shall not relieve any owner, occupant or invitee of liability for damage that might have resulted from any violation. The imposition of any other sanction shall not limit the right of Board at any time to seek and obtain such remedies as may be available by law for such violation.

Prior to the imposition of a Special Individual Lot Assessment to enforce these rules (other than with respect to, interest, late charges, returned check charges, court costs, arbitration costs, and/or attorney fees) or a suspension of voting rights for violation of these Rules, the following procedure shall be followed:

- a. The Board shall give the Unit owner or owners who allegedly violated these Rules or the Declaration written notice by personal delivery, by certified mail, return receipt requested, or by regular mail of the proposed Assessment. The written notice shall include:
 - i. a statement of the facts giving rise to the proposed Special Individual Lot Assessment, including, if applicable, a description of the property damaged or the restriction, rule or regulation allegedly violated;
 - ii. the amount of the proposed Special Individual Lot Assessment;
 - iii. a statement that the Unit owner has a right to a hearing before the Board to contest the proposed Special Individual Lot Assessment by delivering to the Board a written notice (or email) requesting a hearing within ten (10) days after the Member receives written notice of the proposed Special Individual Lot Assessment; and

- iv. in the case of a charge for violation of a restriction, rule or regulation, a reasonable date by which the Unit owner must cure the alleged violation to avoid the proposed Special Individual Lot Assessment.

- b. If an owner does not request a hearing as provided herein, the right to that hearing shall automatically be deemed to have been waived ten (10) days after the Member receives written notice of the proposed Special Individual Lot Assessment; and the Special Individual Lot Assessment will be immediately imposed.

- c. If an owner requests a hearing on a timely basis as provided herein, the Board shall, at least seven (7) days prior to the hearing, provide the owner with a written notice including the date, time and location of the hearing. The hearing shall be held in executive session of the Board and the Unit owner and the Board shall be permitted to present evidence at the hearing. In the event after such hearing the Board determines to levy the Special Individual Lot Assessment proposed, the Board shall deliver to the Unit owner written notice thereof within thirty (30) days of the date of that hearing.

PART I – RULES AND REGULATIONS

A. Parking Spaces / Vehicle Storage

A minimum of four parking spaces shall be provided on each Lot (two enclosed spaces and two spaces on the driveway). Ideally, on-site parking spaces are to be screened by plantings or gently mounded earth. Vehicles must be parked on the driveways and may not be parked in the yard or lawn areas. No automobiles in inoperable condition may be left on any lot for 5 days or more. It is the homeowners' responsibility to ensure that guest and maintenance vehicles parked on the street do not cause damage to the lawn, irrigation system or landscaping of nearby properties, nor impede the smooth operation for of all traffic; including all service vehicles; USPS, Delivery Drivers and Trash Collection and also ALL Fire and EMS vehicles. Oversized vehicles or with trailers shall not create safety hazards while in Wedgewood.

B. Camper, Trailer, RV or Boat Storage

All storage of campers, trailers, recreational vehicles of any sort (including ATV's, golf carts, motorcycles, dirt bikes, boats (and/or trailers), jet skis, snowmobiles and all other types of mobile recreational equipment) must be in a garage. On-site exterior parking of campers, trailers or recreational vehicles is allowed only when necessary, and for no more than 24 hours at a time.

C. Commercial Vehicles

Vehicles, which possess graphic designs, advertisements or lettering, and vehicles designed, licensed, or used primarily for commercial or business purposes that are not unmarked passenger vehicles, may not be parked in the driveways in Wedgewood. Commercial vehicles that do not belong to the homeowner may be parked for a short period of time on or near your property if they are there for the purpose of maintaining or repairing your home.

Although the streets in Wedgewood are public streets, the Association as a matter of policy discourages any parking of commercial or commercially used vehicles on the streets of the community. Such vehicles detract from the quality appearance of our community. In addition, vehicles parked on the street are more subject to damage and will cause unnecessary congestion for your neighbors and companies or entities servicing our community such as waste collection, post office, UPS, FedEx, emergency vehicles, snow removal equipment, etc. Please do not park these vehicles on the street.

D. Detached Gazebos, Swimming Pools and Sheds

Detached buildings of any type (garages, gazebos, trellises, cabanas, etc.) are permitted in Wedgewood only if they are designed to integrate with the design of the house itself, and only after they are approved through the Architectural Review/Environmental Committee process. Such installation shall, in all cases, be located within the buildable area of a Lot and shall be screened to guarantee privacy. Swimming pools are permitted only when approved through the Architectural Review process and must be constructed and fenced to conform to all applicable building, zoning and safety codes. No above-ground pools higher than 2' and 6' in diameter (wading pools) are permitted and must not be visible from the golf course. Storage buildings, "sheds" of any type or size are not permitted under any circumstances.

E. Basketball Backboards

Basketball backboards shall not be installed unless they are approved through the Architectural Review/Environment Committee process. Backboards shall be screened or painted to match the residence on the Lot where located. Unless the Architectural Review/Environmental Committee process otherwise permits, no basketball backboards shall be mounted on any house or garage front elevation facing the street.

F. Play Equipment (swings, play houses, slides, trampolines, etc.)

Metal swing sets are not permitted in Wedgewood. All swing sets and play equipment should be made of wood and stained in natural colors. All play or tree houses should be made of wood and stained to match the residence or natural colors. Plastic components (if any) should avoid bright colors (e.g., reds, yellows, greens, etc.). Play equipment must not be permitted to fall into disrepair and must be screened from view by appropriate landscape materials if visible from the street. Play Houses can be no larger than an 80 sq. ft. footprint and no higher than 6'4" from ground level. All swing sets, play houses, tree houses and trampolines must be approved by the Environmental Committee before being installed.

G. Tennis Courts

Tennis courts are permitted with approval from the Environmental Committee if built within the buildable area and property site and are landscaped and / or screened as required by the Environmental Committee.

H. Trash Cans, Recycling Bins and Barbeque Grills

Trash cans and recycling bins must be kept in a garage or visually screened enclosure. Barbeque grills may be kept on a deck or patio only if not visible from the street.

I. Fences and Screening

Fences may be permitted only upon approval from the Environmental Committee to enclose the private and service areas of each Wedgewood site. "Private" areas are those areas that require privacy from neighbors and street view such as patios, decks, hot tubs and pools. Structural fencing such as wood, brick, wrought iron or stone should be reserved for use in private areas relating to safety issues: pools, hot tubs and deck fencing. Natural planting materials are encouraged for all other privacy screening: neighbors, street view, patios, etc. Entire yard fencing is **NOT** permitted except in cases required by law. Materials selected must be compatible with each home and conform to the natural character of the site. Wood fences are to be weathered or stained. *No chain link or wire fencing will be permitted.*

Invisible fencing is permitted. Perimeter flags used for training purposes are allowed for up to 8 weeks of training, then must be removed.

J. Antennas and Satellite Dishes

No outside TV or radio antennae are permitted without approval from the Environmental Committee. No large satellite dishes are permitted. Satellite dishes will be allowed only as permitted under the FCC regulations found at <http://www.fcc.gov/guides/over-air-reception-devices-rule>. Satellite dishes should be installed in the backyard or in some other inconspicuous location on each lot. It is the responsibility of the homeowner to work with the carrier to ensure they do not take the "path of least resistance" when installing satellite dishes in a place that is most convenient to the carrier. If visible from the street, satellite dishes must be screened with evergreen type shrubs or bushes to provide for year-round screening.

K. Landscaping, Trees, Mowing and Weed Control

It is the responsibility of each homeowner or resident to properly install and maintain the landscaping of each home. Please see the "Landscape Design Guide" on page 13 for more detailed information on landscaping and landscaping designs / submitting plans. If a resident removes landscaping from his or her yard, the landscaping must be replaced with new landscaping that conforms to Wedgewood's standards. Homeowners and residents are required to keep all trees and shrubs properly pruned, keep

the lawn and garden areas alive, free of weeds, and attractive; and keep each yard clean and free of refuse.

Mowing must be done on a regular basis; grass should not exceed approximately 6” in height (maximum) in order to maintain a proper appearance.

Weeding must be done on a regular basis.

L. Removal of Trees

Trees shall not be removed, except trees having a caliper measurement of less than 6", and / or any tree determined dead or dangerous to the home. Trees removed must be replaced. Residents are required to submit a landscape alteration form found on our website. Removal of multiple trees (more than one to two dead) in a heavily wooded area requires approval by the Environmental Committee, exceptions may apply regarding replacement.

Environmental@wedgewood.co

M. Utility Boxes

If there are utility boxes (telephone, cable, electrical, etc.) on any Lot, the homeowner must screen that utility box with evergreen type shrubs or bushes to provide for year-round screening.

N. Mailboxes

It is the responsibility of each Wedgewood resident to maintain the mailbox for each home. Maintenance may include painting or replacing the wooden mailbox post, painting or replacing the metal mailbox itself, and ensuring that every mailbox has the correct type of house numbers attached to both sides of the mailbox post. Remember, the police, fire department, postal workers and various delivery services should be able to see house numbers from both sides of the mailbox. Also, it is important to have the metal post protector installed at the ground level to protect the wooden post from weed trimmers. There are very specific requirements for Wedgewood mailboxes. Please see “Mailbox Guidelines” on the home page of the website (available at www.wedgewood.co) for detailed information on this topic or Appendix A of this Document.

O. Signs and Yard Displays

Advertising signs (painting, landscaping, exterminator, other services. etc.) are not permitted in Wedgewood. No signs shall be erected on property except signs required by or required to be permitted by law. Real estate "for sale" signs shall be no more than 9 square feet per side in size, and must exhibit a brown background with white letters. Signs reflecting religious events, political preferences or community events shall be permitted no more than ten (10) days before an event, or 30 days before an election, and must be removed within two (2) days following the event or election. Banners, balloons, ribbons and other items displaying or commemorating special events or celebrations should be displayed no longer than one (1) month and must be removed within two (2) days of the event, or removed earlier if they are not in good repair.

P. Paint, Stain and Building Materials

Paint, stain and building materials must be in accordance with the documented selections in this handbook. Please review the necessary forms to request approval for these items (available at www.wedgewood.co).

Q. Household Pets and Animals

No more than two (2) dogs and two (2) cats may be kept on any Lot or in any building except when such dogs or cats are less than three (3) months of age. No animals, birds, livestock, or poultry or any kind may be raised, bred, or kept on the property except for dogs, cats and other normally domesticated household pets, which are kept for domestic purposes only.

Animal species normally found in the wild or zoos are **not** permitted to be kept on any parcel, inside or outside under any circumstances. The Wedgewood Board of Directors has final authority to any potential exceptions.

Invisible fencing is permitted. Perimeter flags used for training purposes are allowed for up to 8 weeks of training, then must be removed.

It is every resident's responsibility to clean up pet waste on their property and remove their pets waste from other properties when walking their pets and dispose of at their residence.

R. Offensive Activities

No noxious or offensive activity shall be carried out or permitted on any property. Noxious or offensive activity including, but is not limited to, collections of rubbish or debris, conditions emanating odors, fire pit smoke, errant exterior lighting, and noise from speakers, horns, whistles or other sound devices. Please be aware that loud noises in early morning and late evening hours are inconsiderate to your neighbors.

S. Sculptures, Fountains, Flags and Exterior Decorations

Sculptures, fountains, flags and exterior decorations should be used with discretion and attention to good taste. What may be attractive to you as the home owner may be viewed as distracting, gaudy or unattractive to other members of our community. Excessive yard ornamentation is discouraged. Plastic flowers, plastic animal figures, windmills, bird baths, bird feeders and multicolored lights are just some examples of what should be used sparingly and in good taste. Outdoor Christmas and holiday lights, decorations are permitted from Thanksgiving through January 15th each year. Display of other holiday decorations are permitted 15 days before and after the holiday.

All outdoor furnishings must be kept in good repair and clean condition. Only furniture manufactured for outdoor use is permitted on porches, patios or other outside areas of a home. The United States Flag is permitted and must be displayed according to the standards on USA.gov (search "USA Gov's Guide to Displaying the American Flag"). Other flags and banners may be permitted but must be limited in size to a maximum of 3' x 5'. Flags depicting objectionable or offensive graphics shall not be displayed. If you have questions regarding flags or banners, please contact our Property Management Company.

T. Soliciting

Soliciting is not permitted in Wedgewood (or anywhere else in Liberty Township unless a permit is issued). If you do not want solicitation by solicitors unauthorized by Liberty Township, please register with the Liberty Township "Do Not Knock Registry" at <https://www.libertytp.org/DoNotKnockRegistry.aspx> .

If you observe or experience solicitors please contact the Delaware County Sheriff to report this activity at (740) 833-2886.

PART II – DESIGN GUIDELINES AND PROCEDURES

A. Landscape Design Guide

This Landscape Design Guide is intended to help homeowners, builders, landscape architects and landscape contractors better understand the landscape / hardscape requirements and the review/approval process. It should be used as a guide in preparing submittals for the landscape / hardscape review and, when used as such, should help speed the approval process.

This Landscape Design Guide section should be used in conjunction with The Design Approval Process of this handbook. Please see the landscaping section for additional information.

a. Schedule for Submittal and Construction

- i. Landscape / Hardscape plans must be submitted no later than 30 days prior to installation.
- ii. Absolutely **NO** landscape / hardscape; including trees, plants, planters, patios and poured concrete construction may begin without approval of the landscape plan submitted to the Environmental Committee (environmental@wedgewood.co)
- iii. Completion of landscape / hardscape construction shall be within 90 days of occupancy or major changes to established landscaping. Special exceptions may be given for weather related delays.

b. Landscape Design Guide Review Submittal Requirements

- i. All drawings and documents submitted for Landscape / Hardscape Review must contain the following information:
 1. North arrow and scale;
 2. Owner's name, address, phone number, email address;
 3. Landscape Architect or Landscape Contractor's name, address, phone number and email address;
 4. Wedgewood Lot number and/or street address.
- ii. Minimum requirements for the Landscape submittal include:
 1. One (1) completed application. The application and instructions can be found at www.TownSq.io under "Documents" Filter on "Category" and then on "3-Design Guide & Application" and then read "1-Altération Application Instructions.pdf" and follow the instructions/ If you need additional help you can email environmental@wedgewood.co.
 2. If possible, all landscape plans should be submitted in digital form (.pdf file). If paper copies are required, two (2) completed sets of landscape drawings drawn at a scale of 1" = 10', 1"=20', or 1/8" scale showing the entire lot and containing the following information:
 - a. Existing and proposed trees, shrubs, groundcover, vines and grasses

- b. Patios, terraces, retaining walls and screening walls with dimensions and heights where appropriate
 - c. Utility meters, air-conditioning condensers, utility boxes, satellite dishes, electrical generators and pool and irrigation equipment and method of screening
 - d. Landscape lighting with fixture types and locations (please provide manufacturers, products and colors)
 - e. Location, materials and colors for all hardscape areas, which are not indicated on the site plan (including sidewalks, patios, driveway aprons)
 - f. Plant materials list indicating quantity, common name, botanical name and plant height and/or spread at time of installation (and full grown height) of all proposed plant material. Container sizes will not be acceptable for trees and shrubs.
- iii. Submitted drawings and application will be retained by the Wedgewood Environment Committee and one (1) set will be returned to the applicant upon completion of the review upon request.

c. Landscape Guidelines

i. Screening

- 1. All meters, A/C condensers, utility equipment boxes, irrigation backflow devices, pool equipment, satellite dishes, electrical generators and other utilities must be screened from the street and adjacent properties with plant material or other approved screening method. When installed, it must be at least as tall as the equipment it is screening and with opacity of 80%. Evergreen type shrubs or bushes should be used to provide year round screening. All above-ground utility lines and conduits are to be painted to match the house.
- 2. Garages and off-street parking must be screened from the street and from adjacent properties. This screening may be accomplished with earth mounding, plant materials, privacy fences or garden walls (where permitted) or a combination of these methods.

ii. Street Trees

- 1. Street trees are required for each new home site and are to be approved by the Environment Committee.
- 2. The recommended street trees are as follows and must be a minimum size of 3” caliper:
 - a. Gleditsia Tricacanthos ‘inermis’ (thornless honeylocust)
 - b. Acer Platanoides ‘emerald queen’ (emerald queen norway maple)
 - c. Acer Platanoides ‘cleveland’ (cleveland norway maple)

3. One street tree is required for each fifty (50) feet of street frontage portion thereof measured along the right-of-way and planted at fifty (50) feet on center.
4. Final locations for street trees shall be determined by the Environment Committee based on the locations of street trees at adjoining properties, driveway curb cuts, fire hydrants and location of existing trees.
5. The street tree requirement may be waived on lots with existing trees. All existing trees to be saved, 3" (inch) caliper and larger, should be shown on the landscape plan. In lieu of street trees on some treed lots, the Environment Committee may require a less formal planting of the required number of street trees. This informal planting may be of a species other than those stated above. The Environmental Committee shall approve the location and species of all informal street tree plantings.

iii. Lawns

1. The initial front and side yards of all lots are to be sodded. Rear yards may be sodded, seeded or hydro-seeded.
2. For corner lots, all side yards facing a street shall be considered a front yard and shall be sodded to the rear property line.

iv. Quality of Plant Material

Plant material shall comply with the sizing and grading standards of the latest edition of the American Association of Nurserymen, Inc. "American Standard for Nursery Stock."

v. Quantity of Plant Material

For final approval, the Environmental Committee reserves the right to require additional plant materials if it deems appropriate.

vi. Minimum Acceptable Plant Material Sizes:

- | | |
|-----------------------------------|-------------------------|
| 1. Deciduous shade tree | 3" diameter caliper |
| 2. Ornamental trees (single stem) | 1-3/4" diameter caliper |
| 3. Ornamental trees (multi-stem) | 8' height |
| 4. Evergreen trees | 8' height |
| 5. Shrubs | 15" spread / height |
6. The minimum size requirement for evergreen trees may be waived when they are used to screen front or side yard utility boxes. All must be of a size that meets the screening requirement.

B. Door Guidelines

a. Entrance

The entrance is an important part of the exterior of your home. Care should be taken to select aesthetically pleasing materials to enhance the entry. Natural materials (wood, brick and stone) are preferred.

b. Front Door

A wood-stained or painted door, surrounded by glass side lights, is preferred. Stain and paint colors should follow the approved colors in the colors section (pages 15-16). No pastels or bright primary colors (red, blue, yellow) are permitted. A metal or fiberglass door may be permitted if approved by the Environmental Committee. Aluminum storm and screen doors are discouraged. If used, their finish must blend with the exterior of the home. The main portion of the door should be entirely composed of glass with a metal frame. Decorative “scalloped” storm door panels are not permitted.

c. Garage Doors

The garage doors are an important element of your home. They should be de-emphasized and blend with the design character of the house. Wood or wood-based material is preferred. Garage doors should be stained or painted with approved colors that match house trim as approved in the colors section (pages 15-16). Pastels or bright primary colors (red, blue, yellow) are not permitted. A metal or fiberglass garage door may be permitted if approved by the Environmental Committee.

C. Approved Colors and Materials

Earth tones such as tan, brown, dusty green, warm grays and rusty reds blend well with the environment at Wedgewood. The following colors and materials are those approved for use in Wedgewood. Other manufacturers’ colors and materials are acceptable if they match those on the approved list. They must also be reviewed by the Environmental Committee. Use this list as a guide. There may be some degree of flexibility in color choice as long as the selections are within the intent represented by these colors and materials.

a. Stain Colors

Olympic Semi-Transparent Stains

Aspen Tan
Black Walnut
Blueridge Gray
Cape Cod Gray
Dark Mahogany
Driftwood Gray
Light Mocha
Light Oak
Tobacco
Weathered Barnboard
White Birch

Coronado Semi-Transparent Stains

Beige Gray
Clear
Natural Cypress

b. Paint Colors

All exterior siding should have a flat, no high gloss, finish. Trim, shutters, gutters and downspouts can be flat or satin finish. Only doors may have a semi-gloss finish. NO HIGH GLOSS PAINT IS TO BE USED.

Benjamin Moore Colors

- Arroyo Red-HC
- Clinton Brown-HC
- Deep Caviar-HC
- Georgian Brick-HC
- Lafayette Green
- Lancaster Whitewash-HC
- Providence Olive-HC
- Putnam Ivory-HC
- Richmond Gray
- Van Buren Brown-HC
- OC-17 White Dove
- OC-85 Mayonnaise
- OC-86 White Blush

Sherwin Williams Colors

- 7003 - Togue White
- 7004 - Snowbound
- 7014 - Elder White
- 7028 - Incredible White

Black and white colors are approved as trim colors. Black may be used as a color for entrance doors.

D. Roofing Materials

NOTE: ROOFING REPAIR AND REPLACEMENT, ALL MATERIALS MUST BE REVIEWED BY THE ENVIRONMENTAL COMMITTEE. Please use the appropriate form (available at Wedgewood.co) to request approval.

Shingles, cedar shakes, slate and tile are approved roofing materials. Metal may be used as accent roofing ONLY. All shingles must be “high definition / architectural” shingles. No standard or strip or “tab” shingles may be used. As technology is changing, solar shingles are becoming available. If you would like to use solar shingles, please submit a minor alteration form to the Environmental Committee for consideration. Note: solar panels may not be used in Wedgewood mounted on the roof or elsewhere.

The following colors may NOT be used: red, hunter green, blue, white or silver. Any visible or exposed flashing, drip edges or roof vents must either be a color that is complimentary to the shingle colors (excluding the colors that may not be used) outlined below or copper.

GAF Glenwood

- Weathered wood
- Chelsea gray
- Adobe Clay

GAF Timberline

- Barkwood
- Weathered wood
- Williamsburg slate
- Driftwood
- Oyster gray Slate
- Charcoal (added August 2018)

Autumn harvest
Dusky gray
Golden prairie

Mission brown
Birchwood

GAF Camelot

GAF Canyon

Aged oak
Welsh gray
San Gabriel
Williamsburg slate

Storm cloud gray
Mission brown
Stone wood

GAF Woodland

GAF Slate line

Mountain sage
Cedarwood Abbey
Tuscan sunset
Woodbury brown
Castlewood gray

Antique slate
English gray
Weathered slate

Certainteed - Luxury, Premium, Design Series

Grand Manor

Hateras

Brownstone
Gatehouse slate
Stonegate gray
Weathered wood
Tudor brown

Colonial slate
Georgetown gray
Tudor brown
Weathered wood

Centennial slate

Symphony

Country slate
Fieldstone
New England slate
Plymouth rock
Smokey quartz

Colonial gray
Capital blend

Presidential Shake

Landmark

(TL and Impact resistant)
Autumn blend
Chaparral cedar
Shadow gray
Weathered wood / classic weathered

(TL and Impact resistant, Premium, Plus)
Colonial slate Georgetown gray
Cumberland Pewter
Driftwood Shenandoah
Old Overton Sunrise cedar
Weathered wood

Independence

Burnt sienna
Colonial slate
Driftwood
Heather blend
Georgetown

E. Exterior Materials

a. Brick

Belden

Alamo Blend	Lancaster Blend	Venetian Blend
Beachwood	Meadow Blend	Winewood
Beaver Blend Dart-Tex	Queensport Blend	
Bridgewood Blend	Rosewood Blend	

Glen - Gery

* Colors similar to Belden (above)

b. Stone

Rubble and roughly square stone masonry only are to be used. No dimensioned or ashlar stone masonry is permitted. Native Ohio limestone, in buffs and grays, is preferred. On application submittal (available at TownSq.io under "Documents", filter on "Category" and then on "3-Design Guide & Application" and then read "1-Alteration Application Instructions.pdf" and follow the instructions. If you need additional help, you can email environmental@wedgewood.co. (Include the manufacturer's name, pattern and color for approval, as well as the grout color and texture).

Approved Manufactured Stones:

Stone Craft
Provia (Heritage Stone)
Dutch Quality
Boral (Cultured Stone)
Eldorado Stone

c. Stucco

Approved Colors / Reitter Stucco:

Raton	
Kaiser Grey	Sage
Kodiak	Stetson
Manchester	Suede
Phoenix	Sycamore
Pueblo	Wilhelm Grey

Any other stucco colors may be approved when submitted as an actual sample of the planned stucco to the Environment Committee.

d. Driveway Apron Pavers

A minimum of 10' wide x 8' deep paver inset with 12" concrete surround and a 2'-0" concrete buffer strip between street and driveways shall be installed at every driveway entrance per Liberty Township Regulations and the manufacturer's instructions. Pavers at driver apron for all lots are to be:

i. Reading Rock, Inc. – Paverlock Pavers (8 cm) pattern as desired by homeowner

Approved Colors:

Camel Buff	Ottawa Creek
Cascade	Pewter
Fieldstone	Riverbank
Hampton Blend	Sandstone
Hampton Green	Sumerset
Harvest Blend	Wexford Blend
Heritage Bluff	Ivory

ii. Unilock Paving Stones

Brussels Block	Coffee Creek Sandstone Sierra
Hollandstone	Coffee Creek River Rustic Red Charcoal
Copthorne	Basalt Burgundy Red Burnt Clay Old Oak Blended
Stonehenge	Coffee Creek River Sierra

iii. Oberfields, LLC – The majority of the concrete / driveway pavers in the Oberfields collection (Monroe, Washington, Belhaven) are acceptable for use in Wedgewood.

The Environmental Committee will consider paver samples from other manufacturers for approval. Colors of pavers should be in the range of those listed above.

STAMPED CONCRETE MAY NOT BE USED IN LIEU OF PAVERS

Note: Other colors and materials may be accepted if samples are submitted for review with the appropriate forms (available at TownSq.io under "Documents", filter on "Category" and then on "3- Design Guide & Application" and then read "1- Alteration Application Instructions.pdf" and follow the instructions/ If you need additional help, you can email environmental@wedgewood.co. These selections serve as pre-approved guidelines to assist you in selecting compatible colors and materials.

F. Lighting Design Guidelines

All home site lighting shall be “indirect” or “area” lighting. Spotlights, with direct glare, or element visibility, should not be used. Wall-mounted area lighting may be used for doorways, but should be positioned so as not to disturb neighboring property owners.

Wedgewood does not have municipal street lighting. To promote safety in our community after dark, we encourage residents to turn on exterior lights after dark, installing and using landscape lighting and post lamps where appropriate.

Post lamps may be gas, electric or solar powered. Below is a photo of a recommended post lamp design:



Major Alteration Application Required - (plans or diagrams must be submitted):

- Redesign or addition to deck / patio, major changes
- Addition of new deck / patio
- Landscape redesign or replacement, major changes

Architectural Review Alteration Application Required- (plans or diagrams must be submitted):

- Note: These kinds of projects typically involve architectural drawings and require building permits.
- Addition of permanent structures to property (eg, gazebo, pergola or garage)
- Exterior remodeling project, additions to home
- Relocation or expansion of driveway

* If a very large project requiring more professional time is needed, a higher fee may be required.

H. Appendix A – Driveway Apron Paver Requirements (Hardscape)

One of the distinguishing characteristics for our neighborhood is the fact the developer of Wedgewood required driveway aprons for all homes in our community. This feature adds an extra dimension of class and sophistication to Wedgewood. It is our responsibility as homeowners to maintain the driveway aprons. This means power-washing and sanding the pavers every year or so, sealing them and in some cases replacing broken and cracked concrete and pavers that have deteriorated or become uneven over time. Many of our aprons and concrete “frames” were installed in the early 1990's and require attention. This section is intended to assist our homeowners with the process of restoring our driveway aprons to an attractive condition. The specifications for the driveway aprons and concrete "frames" are shown in the remainder of this section. Approved paver types and colors are in the Exterior Materials section (page 18) of this handbook. Please ensure you select pavers that are suitable for use in driveways (capable of withstanding heavy loads) and submit a Minor Alteration Application Form for approval.

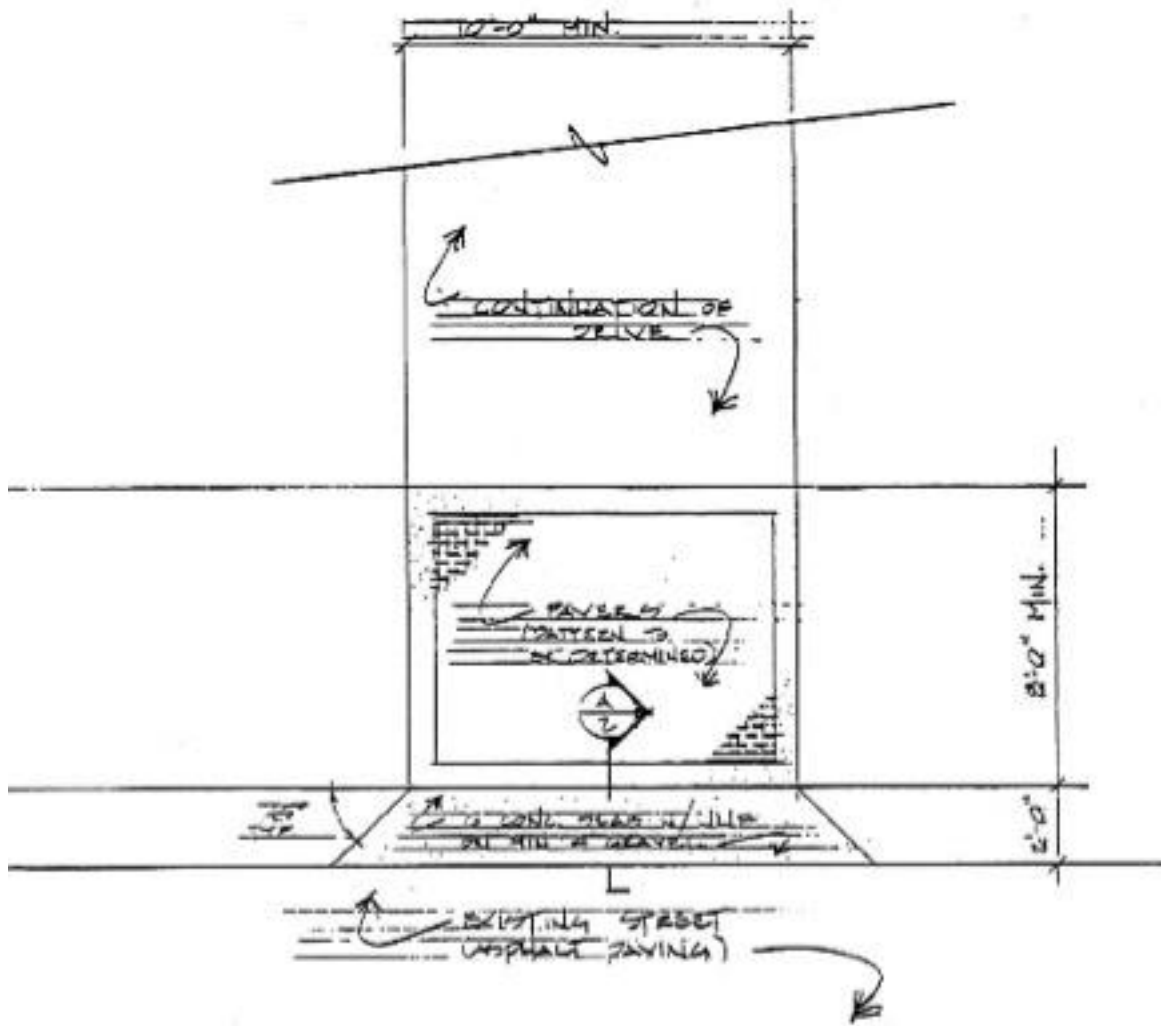
Here is a partial list of the locations where the pavers can be selected or purchased:

- Oberfields - 528 London Rd, Delaware, OH 43015, Phone: (740) 369-7644. The concrete pavers in the Monroe series, Washington series and Belhaven series come in a variety of colors, most are suitable for use in our driveway aprons.
- Unilock - available at many dealers including Columbus Builder Supply, Advanced Industry Supply, Site One Landscape Supply and Mr. Mulch Landscape Supply.
- Reading Rock - Hamilton Parker, 188 E William St, Delaware, OH 43015, Phone: (740) 363-1196. NOTE: at the time of this document, this dealer did not have samples to display.

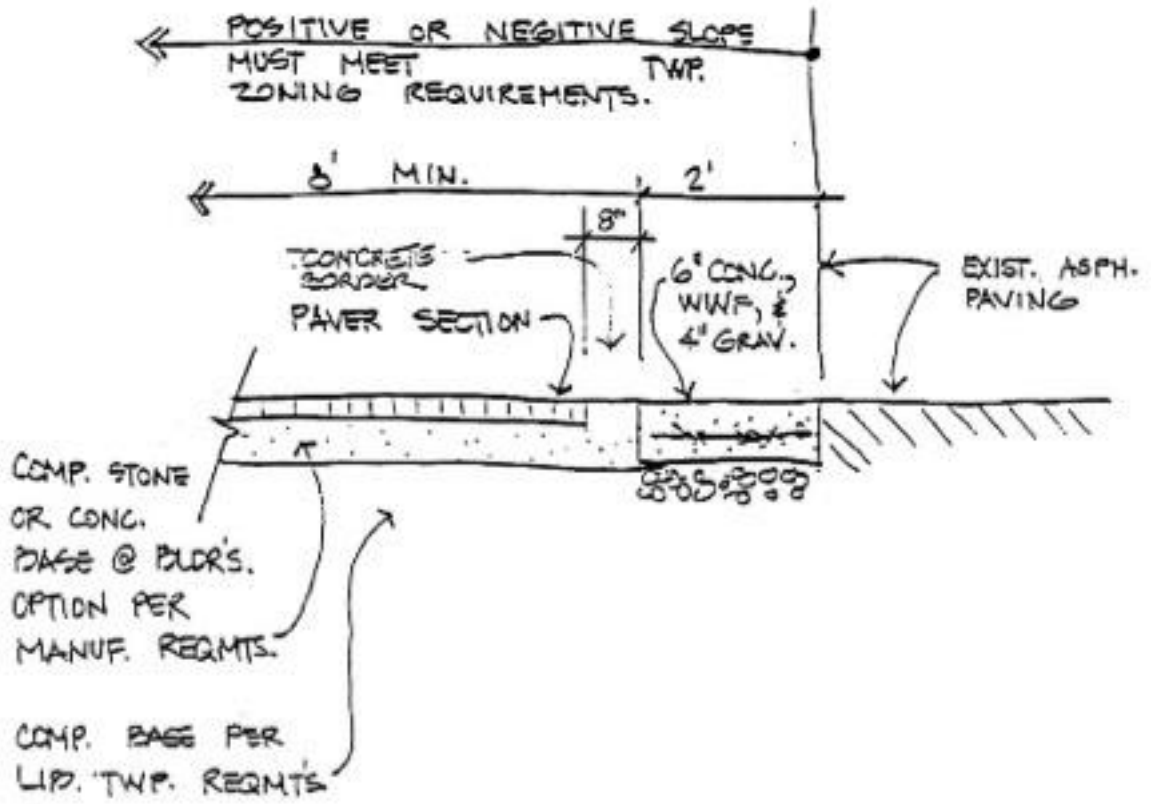
STAMPED CONCRETE **MAY NOT BE USED IN LIEU OF PAVERS**

The following pages include diagrams of the driveway apron and dimensioning:

Appendix A – Driveway Apron Paver Requirements



Appendix A (cont'd) – Driveway Apron Paver Requirements



DETAIL A
 $\frac{1}{2}'' = 1'-0'' \pm$ -24 JAN 12 2

NOTE: USE THIS DETAIL ONLY WHERE THERE IS NO CURB & GUTTER. WHEN AT CURB & GUTTER, 10' PAVER SECTION TO BEGIN AT BACKSIDE OF CURB.

I. Mailbox Specifications

Please see the specifications for “Mailbox Guidelines” (available at wedgewood.co) for the most current list of materials and information regarding mailboxes.

It is the responsibility of each Wedgewood resident to maintain the mailbox for your home. Maintenance may include painting or replacing the wooden mailbox post, painting or replacing the metal mailbox itself, and ensuring that you have the correct type of house numbers attached to both sides of the mailbox post. Remember, the police, fire department, postal workers and various delivery services should be able to see your house numbers from both sides of the mailbox. Also, it is important to have the metal post protector installed at the ground level to protect the wooden post from weed trimmers.

J. Appendix B – Special Individual Lot Assessment / Enforcement Charges

Wedgewood Homeowners Association Enforcement Charges. A friendly letter will be sent to homeowner to notify of violation; if not corrected, a violation will be issued in 30 days. First charge is \$25.00; second charge is \$50.00 and third charge is \$100.00. Charges listed are ***per incident*** (eg, landscaping or trash can charges apply per violation until the violation is corrected):

Landscape / Hardscape and yard maintenance
Paint and stain
Play house and play equipment
Mailboxes
Trash cans, recycling containers,
Barbecue grills
Signs
Removal of trees (per tree is tree not replaced)
Household pets / animals
Vehicles / vehicle storage
Antennas and satellite dishes
Offensive behavior

Failure to submit necessary modification forms (in addition to the charges listed above):

- ***Major design or landscape plan application:*** ***\$300 charge***
- ***Minor modification application:*** ***\$200 charge***
(For landscape/hardscape or dwelling changes)

We hope you have found this new Homeowners Handbook for Wedgewood to be helpful and informative. We will update and revise the document from time to time as needed. Any questions or suggestions regarding the information in this document should be directed to our Property Management Company through their website or by sending an email to board@wedgewood.co.

The next section of the handbook contains the original language that was used to guide homeowners in the construction of new homes during the development phases of Wedgewood, early 1990's.

It is included here only as a reference for those who may be interested.

HOME DESIGN SECTION

K. The Design Approval Process

This design section is intended to be used as a guide for lot and homeowners in designing and building their home and related improvements to be consistent with the overall plan for the development of Wedgewood.

a. The Wedgewood Community Concept

Wedgewood is a single-family housing development located on approximately 500 acres in Liberty Township, Delaware County, Ohio. In this land of rolling hills, meadows and trees, the developers of Wedgewood envisioned a neighborhood community, which provides an attractive environment not only for living and work, but also for recreation and social activities.

Wedgewood is dedicated to preserving the natural beauty of the land through good design practices, management and controlled growth. This will ensure the long-term protection of each homeowner's investment, as well as maintaining the quality of the environment throughout the development.

b. Importance of Our Community Design

The Wedgewood Design Section has been prepared to help home buyers, home builders, architects, designers and residents of Wedgewood understand the design process and to assure the long-term quality of the Wedgewood community. The intent is not to dictate the design of each home, but rather to coordinate the individual efforts of all Wedgewood residents to achieve a unique neighborhood setting where homes blend with and enhance the natural environment and are in harmony with each other.

c. Design Review

Every proposed new home, or improvement to an existing home in Wedgewood, must be reviewed and approved by the Environment Committee before construction begins. This design section and the governing documents of Wedgewood shall be the basis for approval or disapproval of each proposed new home or improvement.

The Design Section covers three basic areas:

- i. Your Homesite - things to look for and to do before you decide upon the way to use your lot.
- ii. Your Home - items to consider when deciding upon the type or style of house to build.
- iii. Materials, Details and Directions - specific recommendations and requirements for building materials, building details, colors, landscaping and site development.

By understanding and following the recommendations in this Design Guide, you and your home will become an important, integral part of this unique, new environment community.

d. Design Considerations

i. Automobiles

A basic goal relating to automobiles is to reduce their visual impact on the neighborhood. The placement of driveways and garages is very important toward achieving this goal.

ii. Driveways

Access from the street should be as easy and direct as possible, but often the straight-line drive or garage door to street solution makes the garage overly important. Ideally, garage doors are screened with plantings or set back from the face of the house. Curved driveways and walks are preferred.

The ideal driveway links strongly with the front entrance, making it easy for a person to use the front door before reaching the rear. A perfection of this idea makes the driveway part of the entry garden, partially enclosing it with shrubs or a wall creating a real “auto entrance”. Where possible, side-load garages are also strongly encouraged (brick, combination brick and concrete, textured concrete, etc.)

On sloping lots, “sunken” or cut-in driveways should be considered. On flat sites, earth mounding may be considered to help driveways blend with their sites. All driveways must be at least 3 feet from the property line. A 10-foot width of pavers is required in each driveway apron adjoining the street. See Appendix A (page 22) or the approved materials section (page 15) for details.

iii. Parking Spaces

A minimum of four parking spaces shall be provided on each lot (two enclosed spaces and two spaces on the driveway). Ideally, on-site parking spaces are to be screened by plantings or gently-mounded earth.

iv. Camper, Trailer, RV or Boat Storage

As set forth in the rules above, storage of mobile equipment must be in a garage. On-site parking of campers, trailers, RV's, other types of sporting vehicles and boats is allowed for 24 hours only.

e. Your Homesite

Each building site at Wedgewood has its own specific qualities and characteristics. It is important that you look carefully at your lot, observe its special assets and decide how each of these can best be used to increase the aesthetic value of the lot to you and the community. Before you select or design your home, there are some things you must think about.

i. Home Planning

If you are going to successfully plan your home, you must consider both the outdoor as well as the indoor spaces. You will be attempting to create and control all the space you live in; everything you see, use and maintain. You must consider the relationship of the four main functions of a home; public access, (front yard, entry hail); general living, (living room, terrace); work (kitchen, garage and service); and private living,

(bedroom, bathroom). Each of these places has its corresponding indoor and outdoor elements. Each works best and provides most livability and pleasure when planned from the outset and built as part of a continuous indoor-outdoor system.

ii. Site Qualities

First, you must identify the natural qualities of the site. Decide what they are and how they should be used. Save the trees, rock outcroppings and scenic areas; use the views; recognize the slopes and drainage patterns. Place your house on the site to disturb a minimum of existing grades and contours. During construction, protect trees or natural areas by a temporary fence or barriers. Leave ravine areas natural and undisturbed; do not fill with dirt or debris. Remove no trees or natural features before final approval of plans and specifications from the Environment Committee.

iii. Topography

The land at Wedgewood varies from level to very steep. Such design elements as mounding, retaining walls and the stepping of slopes should be considered in developing your site. These elements should blend with our site and enhance its natural features.

iv. Grading

When trees or other such elements are to be preserved, they will determine the level of grading in their immediate vicinity. Retaining walls, terraced banks and planted slopes should be considered as part of a grading plan. Graded portions of lots outside the buildable area shall be kept near existing grade or shaped not to exceed a 4:1 slope.

v. Drainage

Drainage is often a major problem for a new homeowner, often forgotten and seldom completely solved before the first big rain or spring thaw forces action. On sloping land, each neighbor receives water from those above him and deposits water on those below. Therefore, a pattern of compulsory mutual responsibility is established.

The acts of excavating or filling, or destroying the natural vegetative cover, or of building impervious roofs or paved surfaces, increase the amount of surface run-off and change its direction and concentration.

Storm water from buildings and pavements on each site shall be directed by pipe or swale to the street, the nearest storm sewer or natural waterway. Storm water originating from the natural watersheds of adjacent property shall be accommodated and transmitted through your site to an existing outlet it is required at Wedgewood to control storm water and sedimentation both during and after construction.

vi. Setbacks and Side Yards

Building setbacks are flexible at Wedgewood within the minimum requirements set by zoning. It is the intention that homes will have varied setbacks, not “lined up” as in a subdivision, and be carefully sited in more random order where trees and topography indicate. Side yard setbacks will vary according to lot size and are indicated on the Wedgewood Master Plan. Other non-buildable areas, set aside in areas of steep slope and woods, are also indicated on the Wedgewood Master Plan.

vii. Coordinate with Your Neighbor

Create privacy for you and your neighbor by carefully locating and coordinating the private spaces of your home. When possible, use common screen walls or fences to help each other create privacy. Think about where you place your windows; avoid windows that “look into” your neighbor’s windows.

viii. Garage

Place your garage so that the door does not dominate your house. Set it back from the main face of the house, curve, the driveway and / or enter from the side or rear. Your home at Wedgewood must respect its site. Use it wisely and recognize its natural assets. Let the qualities of the site enrich your home.

f. Your Home

Your home at Wedgewood should have a natural quality with natural materials, colors and form predominating. The home easily blends with its natural surroundings and with its neighbors. As you design your home, seriously consider the following elements:

i. The Roof Form and Building Mass

The general shape of the home, roof, walls and appendages should fit in with the land and be compatible with neighboring homes.

ii. Materials

Whenever possible, use natural materials such as wood, brick, stone and tile.

iii. Colors

Earth tones (tan, brown, dusty green, warm grays and rusty red) blend well with the environment at Wedgewood. These colors are found in reproductions of traditional colors from the 18th and 19th centuries. For examples of these colors, refer to the Approved Colors and Materials section (page 15).

iv. Building Style

Homes at Wedgewood are not restricted to one style or character, but traditional design is encouraged. For examples of preferred architectural styles, refer to Colonial Williamsburg by Phillip Kopper; A Field Guide to American Architecture by Carole Rifkind (Colonial, Georgian, Federal); and A Field Guide to American Houses by Virginia & Lee McAlester (English Colonial, French Colonial, Georgian).

v. Roofing Materials

Roofing materials and colors should be compatible throughout the community. Asphalt shingles, when used, should be heavily textured and medium brown to gray in color to simulate the appearance of a natural, weathered-wood shingle roof. For examples of acceptable types of shingles, review the Approved Colors and Materials section. Roofs of slate, wood, metal or tile may also be used. No white roofing materials will be

permitted and the use of extremely dark colors is discouraged. All roofing materials and colors must be approved by the Environment Committee.

Overhangs provide protection to the home, allow windows to be left open during rain and help the house to hug the ground. Wide overhangs are more typical of contemporary styling, while narrow overhangs are generally more typical of traditional design. Gutters, fascias and rake boards are to be stained or painted to match roofs. Downspouts are to be painted to complement the side walls. Roof fans, jack vents and flashing (except copper) are to be painted to match the roof.

g. The “Four Sides” of Your Home

All sides of a home should be detailed and finished in a similar way. There should be no substantial difference between front, sides and back. Homes will be seen from many sides and each side is important. Mixing materials on the side of the house, or material changes from side to side are discouraged. If material changes are necessary, special detailing (like corner boards or wide returns) must first be approved by the Environment Committee.

Panelized, manufactured or modular home construction is not preferred. Generally, this type of construction lacks the “Four Sides” of your home sensitivity to detailing and finishing. If panelized or modular home construction is desired, it must be submitted to the Environment Committee for approval. Actual photographs, material samples and brochures must be submitted.

i. Windows

Many types of windows (casement, double-hung, horizontal siding, wood, etc.) are acceptable at Wedgewood as long as they have been carefully selected and proportioned to enhance the walls in which they are placed. Window frames shall be wood, aluminum or vinyl clad. The same window type should be used on all sides of a home so that all four sides relate. Window mullion bars are encouraged in all elevations.

Unobstructed windows, large enough to take full advantage of garden and long-distance views, are encouraged.

Shutters should be properly proportioned to fit the window and should be of authentic period design. On more contemporary homes, wide board trim should be used on windows to provide adequate detail to the window and help it integrate with the wall. When wide trim is used with properly proportioned windows, shutters are not aesthetically needed. Awnings are not acceptable unless they are cloth type and blend with the house. Awnings must have the approval of the Environment Committee.

ii. Glass Walls

Sliding glass doors, view windows, clerestories and skylights are encouraged if designed to help the house take full advantage of the site views. Proper protection must be provided to ensure privacy from street and neighbors.

iii. Doors

The entrance is probably more important than any other exterior part of your home. Care should be taken to select aesthetically pleasing arrangements and materials to enhance the entry. Natural materials are preferred (wood, brick, glass). Aluminum

storm and screen doors are discouraged. If used, their finish must blend with the home (no unpainted aluminum). Decorative “scalloped” storm door panels are not permitted. The garage door is often a very important element of a home. Garage doors should be de-emphasized and blend with the design character of the house. Garage doors shall be of one color and of wood / wood-based materials or high-quality metal.

iv. Chimneys-Fireplaces

All chimneys and fireplaces shall be of traditional brick or stone masonry construction. No wood or stucco enclosures will be permitted.

v. Building Materials and Colors

The roof and side wall materials of each house shall be compatible with each other and shall blend into a common color tone. Natural colors of natural materials blend easily together. When man-made materials are used, colors must blend with natural materials. Accent colors are encouraged only if used carefully to add a highlight or detail to the natural house. For examples, refer to the Approved Colors and Materials section (page 15). The following are acceptable exterior building materials:

vi. Wood Siding

4-inch and 8-inch clapboard, rough and smooth finish; v-joint tongue-and-groove boards; vertical board and batten; all with semi-transparent stains are recommended. Paint requires more maintenance than stain and hides the natural beauty of the wood grain. Note: Aluminum siding and vinyl siding are not permitted.

vii. Brick

Natural sand mold brick is preferred. “Manufactured” sand mold and textured brick may also be approved. Color ranges should be subtle; no speckled or glazed effects permitted. Brick details in chimneys, sills, entry steps and foundations are encouraged (soldier courses, basket weave, etc.) Brick must wrap at corners a minimum of two feet.

viii. Stone

Natural stone, laid in a natural horizontal bed, is preferred. Rubble and roughly-squared stone should be used. Square-cut dimensional or ashlar stone is not preferred. If flat-faced, vertical bed stone is used, flush joints rubbed with burlap are recommended. Native Ohio limestone, in gray or buff, is preferred over more exotic stone.

Artificial stone is not preferred. If desired, it must be a non-repetitive pattern with the look of natural stoned. A sample panel, minimum 3-foot square, must be submitted to the Environment Committee for approval. Stone must either return to the house at an inside corner or wrap a minimum of 2 feet on outside corners.

ix. Stucco

Stucco as a primary siding material is not encouraged. Stucco finishes may be accepted if properly detailed and is subject to the Environment Committee approval. Stucco is only approved with an actual stucco sample. Note: White stucco is not permitted.

x. Colors and Material Samples

All exterior building materials and colors are subject to review and approval by the Environment Committee.

xi. Patios, Terraces and Decks

Outside spaces such as patios, terraces and decks are important to every home. They are direct extensions to the inside living spaces of each residence. The design of outside living spaces must be properly coordinated with the design of every home.

Outside spaces, when designed to provide privacy, are enclosed with landscaping or gently-mounded earth.

xii. Percentage of Enclosure

To assure preservation of the spacious environment, no more than 25% of the total lot area, in addition to the house and garage, may be enclosed by a fence or wall **if** approved by the Environmental Committee and **required by law**. Adjacent to the golf course, all fences and structures shall be set back as indicated on the Master Plan. Percentage of enclosure should be indicated on the Architectural Review Application for design approval. Fences are permitted only in the buildable area of each lot **if** required by law.

Landscape gardens are encouraged, especially entry gardens and private gardens adjacent to various entrances to the home. Highly ornamental garden decorations (statuary, fountains, etc.) are to be screened from the street, fairway and neighboring views and subject to design approval. These decorations are not encouraged unless they supplement the natural theme. Landscape plans must be submitted for approval by the Environment Committee.

Garden walks and paths are important parts of any site development. Walks should appear natural, not rigid straight-line sidewalks. Walks may be built from brick, rough-textured concrete, washed gravel, bark mulch or other materials.

Decks attached to houses are to be large enough to be usable and built from materials similar to those used in the home. Wood decks should be stained to match the house or permitted to weather naturally. Decks are restricted to the buildable area of the lot and shall not extend into front and rear setbacks or no build areas. Awnings used on patios and decks may be of wood and canvas. No metal or fiberglass awning products shall be used.

xiii. Detached Gazebos, Swimming Pools and Sheds

Detached buildings of any type (garages, gazebos, cabanas, etc.) are permitted in Wedgewood if they are designed to integrate with the design of the house itself. These facilities are part of the “private” system of the site. They shall be located within the buildable area and shall be screened to guarantee privacy. Swimming pools are permitted and must conform to building codes. No above-ground swimming pools are permitted. Swimming pools are to be visually screened and fenced as required by law. Storage buildings or “sheds” are not permitted.

xiv. Basketball Backboards

Basketball backboards mounted on the house or garage is discouraged when facing the street. Backboards shall be screened or painted to match the residence and specific approval from the Environment Committee is required.

xv. Play Equipment (swings, slides, trampolines, etc.)

Metal swing sets are not permitted in Wedgewood. All swing sets and play equipment should be made of wood and stained in natural colors. All play or tree houses should be made of wood and stained to match the residence or natural colors. Plastic components (if any) should avoid bright colors (e.g., reds, yellows, greens, etc.). Play equipment must not be permitted to fall into disrepair and must be screened from view by appropriate landscape materials if visible from the street.

xvi. Tennis Courts

Tennis courts are permitted with approval from the Environment Committee if built within the buildable area and property landscaped.

xvii. Trash Cans, Recycling Bins and Barbecue Grills

Trash cans, recycling bins and barbecue grills should be kept in a garage or visually screened enclosure. Grills may be kept on deck or patio if not visible from the street.

xviii. Fences and Screening

Fences built from wood, brick, wrought iron or stone, and screens developed from masses of planting, may be permitted **with approval from the Environmental Committee** to enclose the private and service areas of each Wedgewood site. Materials selected must be compatible with each home and conform to the natural character of the site. Wood fences are to be weathered or stained. *No chain link or wire fencing will be permitted.*

xix. Landscaping

The major goals of the landscaping are: 1) to enhance each home and help it blend into the natural setting, 2) to create a private environment for each homeowner and 3) to supplement and accentuate the existing features of the land.

Street tree plantings, in open areas, are required. It is intended that each homeowner supplement this planting with their own plantings. The developer will suggest the types of trees to be used as the predominate species in various areas of the development. Each homeowner shall provide a landscape plan as part of their required site plan for design review and approval.

Planting around a home, ideally, should be massed in critical locations rather than merely stretched along the foundation. Plantings should be placed away from the house at entrances and other key spots to enhance the architectural features or privacy areas of each building. Foundation planting is acceptable if done carefully and in moderation.

Planting at or near property lines must be coordinated with neighboring property owners to create a natural flow of planting from property to property. Property lines are not to be accentuated as “lines”.

Earth mounding is encouraged within a property if it is done in a subtle way with gentle slopes to suggest natural grade. Mounding is effective when used with stone retaining walls.

Certain areas of wooded lots should be left in their natural state. These natural areas provide a pleasant contrast to finished areas and reduce maintenance.

Please review the Landscape Design Guide for additional information.

xx. Outdoor Lighting

All site lighting will be “indirect” or “area” lighting. Open bulb post lanterns or spotlights with direct glare should not be used. Wall-mounted area lighting may be used for the doorway, but should be positioned so as not to disturb neighboring property owners.

xxi. Utilities and Services

All electric and telephone services are to be underground. Meters on the exterior of houses are to be located for easy access of meter readers and screened from street view.

All service entries and conduits are to be painted to blend with the home. No window air conditioners shall be permitted. Outside air conditioning condensers, fuel tanks and other mechanical equipment are to be permanently screened from the street or neighboring properties. No fan is to be directed toward neighboring properties without an approved sound barrier.

xxii. Antennas and Satellite Dishes

No outside TV or radio antennae are permitted without approval from the Environmental Committee. Roof attic antennae are encouraged. No large satellite dishes are permitted. Satellite dishes will be allowed as outlined in the FCC regulations at <http://www.fcc.gov/guides/over-air-reception-devices-rule>. Satellite dishes should be installed in the backyard or in some other inconspicuous location. It is the responsibility of the homeowner to work with the carrier to ensure they do not take the “path of least resistance” when installing satellite dishes in a place that is most convenient to the carrier. If visible from the street, satellite dishes should be screened with evergreen type shrubs or bushes to provide for year-round screening.

xxiii. Signage

Signs bearing owner’s name or street number should be designed to be subtle, yet readable. They should be compatible with the natural setting.

xxiv. Mailboxes

To ensure continuity of design, an original mailbox has been designated by the developer. Read Mailbox Guidelines (available at www.wedgewood.co) for the description and requirements pertaining to mailboxes.

PART III – CONSTRUCTION AND BUILDER REGULATIONS

A. Conservation of Existing Landscape

The natural landscape should be protected to maintain as much as possible the existing site character as possible.

B. Curb Cuts

The builder is responsible for cutting; removing and replacing curb and gutter for access into the site. All curb cuts shall be in conformance with local ordinances. Installation of temporary gravel drives shall be completed before commencement of basement excavation. Provide culvert pipe for all other residential drives. Culvert pipe shall conform to the Liberty Township Zoning Code and shall be only reinforced concrete pipe with concrete headwall or stone rip rap. Per zoning code, minimum diameter is 12” and minimum length is 30’. Both ends are to be cut off.

C. Debris, Trash and Toilet Facilities

The builder is responsible for all trash, debris and toilet facilities on the construction site. Trash and debris shall be contained in a cage or appropriate container on the site and shall be removed as required. Any lightweight materials, packaging and other items shall be covered or weighed down to prevent wind from blowing such materials off the construction site. Builders and owners are prohibited from dumping, burying or burning trash anywhere on the lot or in the Wedgewood Development. During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore or affecting other lots and any open space. Trash and debris cages to confine trash are required. Any cleanup costs incurred by Wedgewood Venture and / or the Wedgewood Homeowners Association, in enforcing these requirements, shall be billed to the builder. Dirt, mud or debris resulting from activity on each construction site shall be promptly removed from public or private roads, open spaces and driveways.

Each builder is required to supply a Port-A-John for bathroom facilities, which must be maintained and placed in a non-conspicuous area until facilities are available inside the home.

D. Restoration or Repair of Property Damage

Damage and scarring to other property or other improvements will not be permitted. If any such damage occurs, it must be repaired and / or restored immediately at the expense of the party causing the damage or the builder of the lot.

E. Signs

All contractor identification and real estate sales signs shall not exceed 24” x 36”. They must have a dark brown background with white letters.

F. Foundation Survey / Grades and Drainage

The builder is responsible for maintaining all grades and drainage per the approved Master Grading and Drainage Plan. The owner or builder is responsible for the completion of and payment for the survey.

APPENDIX : A – MAILBOX SPECIFICATIONS

Cedar Craft Products, Inc.

P. O. Box 9

776 Reynoldsburg – New Albany Road

Blacklick, Ohio 43004

Ph. (614) 759-1600

Fax. (614) 759-1418

www.cedar-craft.com



Wedgewood 2019
Code # WWD84J2R

Standard size black metal box & CJ01 6X6 cedar post w/ paper storage. Stain - Wedgewood Woodscapes w/ 4" reflective house numbers on both sides. **Galvanized wrap for bottom of post is now included in price

- A.) Cedar Craft removes old unit and installs new unit. (Disposal not included because your Trash co. should take it.)
- B.) Pick-up price. (pick-up in Blacklick, Oh)
- C.) Standard black metal box
- D.) Blocks for attaching metal box to post
- E.) 4" reflective house numbers
- F.) CJ01 cedar 6X6 post with paper storage
- G.) Stained by Cedar Craft in shop – Wedgewood Woodscape
- H.) Removal of old unit and installation of new unit
- I.) Installation only
- J.) Disposal of old unit. Note: Most trash companies will dispose of the old materials for you. Call and ask your trash company.

**Zettler Hardware (Powell, OH) has Wedgewood mailboxes, numbers and can obtain the post.

Note: Cedar Craft is not responsible for landscape (Plants, Bushes, Brick, Wood or concrete) invisible fence or sprinkler systems.